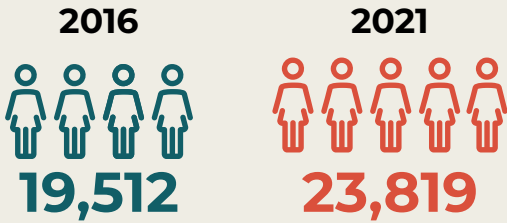


# District of Squamish Housing Profile

This profile highlights key contextual demographic, economic, and housing information that impacts housing needs and gaps in Squamish.

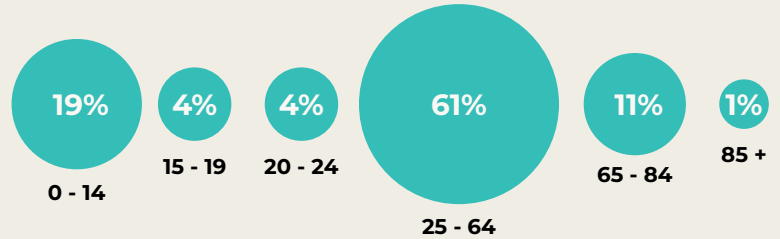
## Population



Annual growth rate from 2016 to 2021 was 4.1%  
→ 3x the provincial average.

Under a **high growth scenario**, Squamish's population is forecast to reach **35,570 people** by **2031**.

## AGE DISTRIBUTION 2021

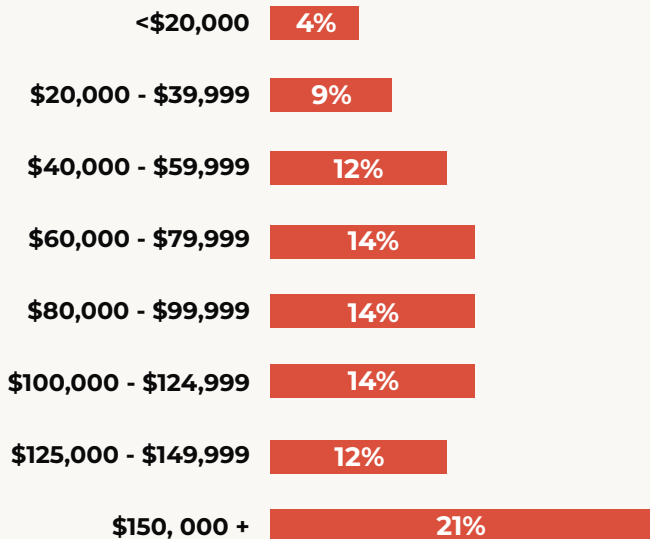


## Income

In 2020,  
median after-tax  
household income  
**\$96,000**



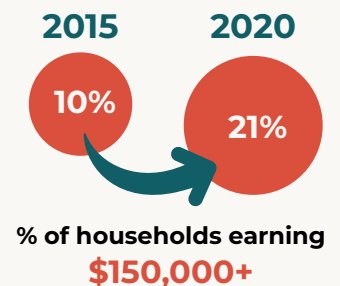
### 2020 AFTER TAX HOUSEHOLD INCOME DISTRIBUTION



## Squamish's Housing Needs

-  AFFORDABLE HOUSING
-  RENTAL HOUSING
-  SPECIAL NEEDS HOUSING
-  SENIORS HOUSING
-  FAMILY HOUSING
-  SINGLES DWELLING
-  SHELTERS EXPERIENCING HOMELESSNESS

The proportion of high-income households has increased from 10% to 21% in the last 5 years



# Housing



“The price of housing exceeds what most low- and moderate-income households can afford”



2022 average rent for a 1-bedroom purpose-built unit was \$1,421



2023 benchmark price for an apartment \$579,700



Average sale prices of detached homes in Squamish have increased by 61% over the past five years, from \$944,198 to \$1,521,111

0.6% rental vacancy rate, despite significant new rental construction

A quarter of Squamish's housing was constructed between 2011 and 2021 – but there is a need for more ground-oriented family-friendly housing options



## NON-MARKET HOUSING

There is a growing mismatch between what low-income households can afford and what is available in the community.



From 2017 and 2022, the number of applicants on BC Housing's waitlist increased from 19 to 84 applicants.

Seniors and families represent the largest proportion of Squamish households looking for non-market housing.



31% seniors on BCH waitlist



31% families on BCH waitlist

## HOUSEHOLDS IN CORE HOUSING NEED

The proportion of households in core housing need declined between 2016 and 2021, from 7.2% to 6.4%, likely due to improvements in housing adequacy fueled by new construction.



## HOUSING UNIT NEED ESTIMATE (2021 – 2023):

6,840 units



“Of the 6,840 new homes projected to be needed by 2031, 43% will need to accommodate families with three or more bedrooms and 24% will need to serve households earning less than \$45,000 per year.”